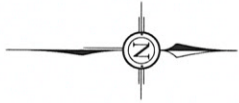


INFORMATION OBTAINED FROM: SURVEYOR'S REAL PROPERTY REPORT PART 1 - PLAN OF SURVEY OF PART OF LOT 7 CONCESSION 15 AND PART OF ROAD ALLOWANCE IN FRONT OF LOT 7, CONCESSION 15 (CLOSED BY BY-LAW 2014-102) GEOGRAPHIC TOWNSHIP OF BURLEIGH (NORTHERN DIVISION) TOWNSHIP OF NORTH KAWARTHA COUNTY OF PETERBOROUGH ELLIOT & PARR INC. ONTARIO LAND SURVEYORS JANUARY 11, 2021		
SITE STATISTICS		
ZONE: SHORELINE RESIDENTIAL (SR-P)		
AREAS:	SF	SM
LOT AREA:	25 617.0	2 280.0
EXISTING BUILDINGS		
DWELLING	1 356.0	126.0
GARAGE	493.0	45.8
COVERED PORCH	63.0	5.8
FRONT SIDE / REAR DECK	718.0	66.7
GARAGE DECK	99.0	9.2
LAKESIDE DECK	331.0	30.6
	3 060.0	284.3
		TOTAL
PROPOSED DEMOLITION		
DWELLING	1 23.0	11.4
GARAGE	493.0	45.8
SIDE / REAR DECK	409.0	38.0
GARAGE DECK	99.0	9.2
	1 124.0	104.4
		TOTAL
PROPOSED BUILDING		
ADDITION	1 017.0	94.5
GARAGE	1 200.0	111.5
	2 217.0	206.0
		TOTAL
PROPOSED TOTAL BUILDING AREA		
	4 153.0	385.9
		TOTAL
EX. BLDG. COVERAGE: 11.95%		
PROPOSED BLDG. COVERAGE 16.21%		

PROPOSED SITE PLAN
SCALE: 1" = 16'-0"



LEGEND	
	PROPERTY LINE
	SURVEY MONUMENT
	EXISTING BUILDING
	PROPOSED BUILDING
	EXISTING HYDRO POLE
	EXISTING OVERHEAD HYDRO
	SET BACKS
	FLOOD PLANE
	EXISTING ELEVATION - METRIC

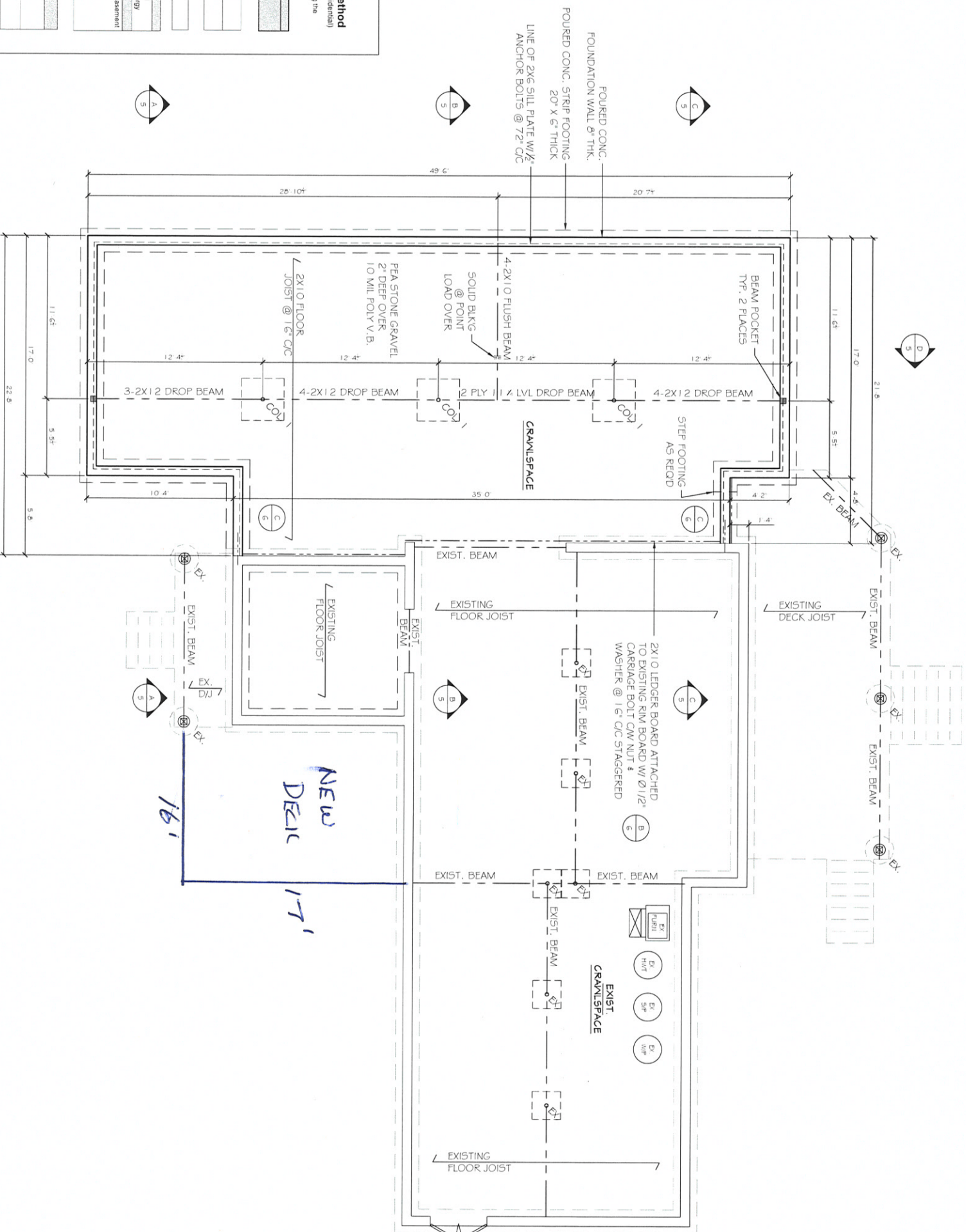


1. FOOTINGS TO BE LAID ON UNDISTURBED SOIL, MIN ALLOWABLE BEARING PRESSURE 75 KPA.
2. CONCRETE MATERIAL TO BE:
FOOTINGS & WALLS: 20 MPa MIN. AGED COMPRESSIVE STRENGTH, PLAIN CONCRETE
BASEMENT FLOOR: 25 MPa MIN. AGED COMPRESSIVE STRENGTH, PLAIN CONCRETE
3. EXTERIOR FLATWORK AND GARAGE FLOORS 32 MPa 5-8% AIR ENTRAINED
FASTEN WOOD FRAMING TO FOUNDATION WALLS WITH 1/2" ANCHOR BOLTS EMBEDDED IN CONCRETE SPACED 6'-0" MAX. C/C @ PLATE SECTION MIN.
4. AFTER DAMP PROOFING TO EXT. OF FOUNDATION WALL ENCLOSING LIVING SPACE UP TO FINISHED GRADE.

LEGEND	
SYM.	DESCRIPTION
3"	3" DIA. ADJ. STEEL COLUMN ON POURED CONC. PAD FTG. 36" X 36" X 4" THICK W/ 15M REBAR @ 6" C/C EACH WAY 3" CLEAR FROM BOTTOM OF FTG. TYP. 3 PLACES

This form is used by a designer to demonstrate that the energy efficiency design of a house complies with the building code using the prescriptive method described in Subsection 3.1.1. of SB-12. This form is applicable where the ratio of gross area of windows/sidelights/skyglazing in doors and sliding glass doors to the gross area of peripheral walls is not more than 22%.

For use by Principal Authority Issued under the Building Act 2004		Date Issued 10/10/2024	Date Recd 10/10/2024
Application No: #93 FR 52, Aspley			
Applicant: North Kawatha			
Project Name: "The Green Room"			
Building Particulars: Single detached house			
B. Prescriptive Compliance (Indicate the building code compliance package being employed in this house design)			
SB-2 Prescriptive (Input design package): Package: Zone 1			
C. Project Design Conditions			
Climate Zone (SB-1):		Heating Efficiency	
Zone 1 < 5000 degree days Zone 2 5000 - 5500 degree days Zone 3 5500 - 6000 degree days Zone 4 6000 - 6500 degree days Zone 5 6500 - 7000 degree days Zone 6 7000 - 7500 degree days Zone 7 7500 - 8000 degree days Zone 8 8000 - 8500 degree days Zone 9 8500 - 9000 degree days Zone 10 9000 - 9500 degree days Zone 11 9500 - 10000 degree days Zone 12 10000 - 10500 degree days Zone 13 10500 - 11000 degree days Zone 14 11000 - 11500 degree days Zone 15 11500 - 12000 degree days Zone 16 12000 - 12500 degree days Zone 17 12500 - 13000 degree days Zone 18 13000 - 13500 degree days Zone 19 13500 - 14000 degree days Zone 20 14000 - 14500 degree days Zone 21 14500 - 15000 degree days Zone 22 15000 - 15500 degree days Zone 23 15500 - 16000 degree days Zone 24 16000 - 16500 degree days Zone 25 16500 - 17000 degree days Zone 26 17000 - 17500 degree days Zone 27 17500 - 18000 degree days Zone 28 18000 - 18500 degree days Zone 29 18500 - 19000 degree days Zone 30 19000 - 19500 degree days Zone 31 19500 - 20000 degree days Zone 32 20000 - 20500 degree days Zone 33 20500 - 21000 degree days Zone 34 21000 - 21500 degree days Zone 35 21500 - 22000 degree days Zone 36 22000 - 22500 degree days Zone 37 22500 - 23000 degree days Zone 38 23000 - 23500 degree days Zone 39 23500 - 24000 degree days Zone 40 24000 - 24500 degree days Zone 41 24500 - 25000 degree days Zone 42 25000 - 25500 degree days Zone 43 25500 - 26000 degree days Zone 44 26000 - 26500 degree days Zone 45 26500 - 27000 degree days Zone 46 27000 - 27500 degree days Zone 47 27500 - 28000 degree days Zone 48 28000 - 28500 degree days Zone 49 28500 - 29000 degree days Zone 50 29000 - 29500 degree days Zone 51 29500 - 30000 degree days Zone 52 30000 - 30500 degree days Zone 53 30500 - 31000 degree days Zone 54 31000 - 31500 degree days Zone 55 31500 - 32000 degree days Zone 56 32000 - 32500 degree days Zone 57 32500 - 33000 degree days Zone 58 33000 - 33500 degree days Zone 59 33500 - 34000 degree days Zone 60 34000 - 34500 degree days Zone 61 34500 - 35000 degree days Zone 62 35000 - 35500 degree days Zone 63 35500 - 36000 degree days Zone 64 36000 - 36500 degree days Zone 65 36500 - 37000 degree days Zone 66 37000 - 37500 degree days Zone 67 37500 - 38000 degree days Zone 68 38000 - 38500 degree days Zone 69 38500 - 39000 degree days Zone 70 39000 - 39500 degree days Zone 71 39500 - 40000 degree days Zone 72 40000 - 40500 degree days Zone 73 40500 - 41000 degree days Zone 74 41000 - 41500 degree days Zone 75 41500 - 42000 degree days Zone 76 42000 - 42500 degree days Zone 77 42500 - 43000 degree days Zone 78 43000 - 43500 degree days Zone 79 43500 - 44000 degree days Zone 80 44000 - 44500 degree days Zone 81 44500 - 45000 degree days Zone 82 45000 - 45500 degree days Zone 83 45500 - 46000 degree days Zone 84 46000 - 46500 degree days Zone 85 46500 - 47000 degree days Zone 86 47000 - 47500 degree days Zone 87 47500 - 48000 degree days Zone 88 48000 - 48500 degree days Zone 89 48500 - 49000 degree days Zone 90 49000 - 49500 degree days Zone 91 49500 - 50000 degree days Zone 92 50000 - 50500 degree days Zone 93 50500 - 51000 degree days Zone 94 51000 - 51500 degree days Zone 95 51500 - 52000 degree days Zone 96 52000 - 52500 degree days Zone 97 52500 - 53000 degree days Zone 98 53000 - 53500 degree days Zone 99 53500 - 54000 degree days Zone 100 54000 - 54500 degree days Zone 101 54500 - 55000 degree days Zone 102 55000 - 55500 degree days Zone 103 55500 - 56000 degree days Zone 104 56000 - 56500 degree days Zone 105 56500 - 57000 degree days Zone 106 57000 - 57500 degree days Zone 107 57500 - 58000 degree days Zone 108 58000 - 58500 degree days Zone 109 58500 - 59000 degree days Zone 110 59000 - 59500 degree days Zone 111 59500 - 60000 degree days Zone 112 60000 - 60500 degree days Zone 113 60500 - 61000 degree days Zone 114 61000 - 61500 degree days Zone 115 61500 - 62000 degree days Zone 116 62000 - 62500 degree days Zone 117 62500 - 63000 degree days Zone 118 63000 - 63500 degree days Zone 119 63500 - 64000 degree days Zone 120 64000 - 64500 degree days Zone 121 64500 - 65000 degree days Zone 122 65000 - 65500 degree days Zone 123 65500 - 66000 degree days Zone 124 66000 - 66500 degree days Zone 125 66500 - 67000 degree days Zone 126 67000 - 67500 degree days Zone 127 67500 - 68000 degree days Zone 128 68000 - 68500 degree days Zone 129 68500 - 69000 degree days Zone 130 69000 - 69500 degree days Zone 131 69500 - 70000 degree days Zone 132 70000 - 70500 degree days Zone 133 70500 - 71000 degree days Zone 134 71000 - 71500 degree days Zone 135 71500 - 72000 degree days Zone 136 72000 - 72500 degree days Zone 137 72500 - 73000 degree days Zone 138 73000 - 73500 degree days Zone 139 73500 - 74000 degree days Zone 140 74000 - 74500 degree days Zone 141 74500 - 75000 degree days Zone 142 75000 - 75500 degree days Zone 143 75500 - 76000 degree days Zone 144 76000 - 76500 degree days Zone 145 76500 - 77000 degree days Zone 146 77000 - 77500 degree days Zone 147 77500 - 78000 degree days Zone 148 78000 - 78500 degree days Zone 149 78500 - 79000 degree days Zone 150 79000 - 79500 degree days Zone 151 79500 - 800			



A
2 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

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0 CONSTRUCTION MUST CONFORM TO ALL APPLICABLE CODES AND REQUIREMENTS OF AUTHORITIES HAVING JURISDICTION

0 THE CONTRACTOR WORKING FROM DRAWINGS NOT SPECIFICALLY MARKED FOR CONSTRUCTION MUST OBTAIN ALL NECESSARY INFORMATION FROM THE APPOINTED CONSULTANTS AND BEAR CONSTRUCTION RISKS FOR ANY DAMAGES RESULTING FROM THIS WORK

NO CHANGES SHALL BE MADE TO THE WORK DESCRIBED IN THESE DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER

NO. SECTION DATE

PRELIMINARY
NOT FOR
CONSTRUCTION

FOUNDATION PLAN

Dwell
INTERIORS • ARCHITECTURA

619 WATERFIELD AVENUE,
PETERBOROUGH ON N3J 4V9
P. 905.376.3902
enw@dwelldesign.ca

HOLMES

HOLMES

date: 12 SEPT '22

drawn: MV

sheet: 2 OF 7

DRAWN BY:

TREVOR DAY

ARCHITECTS

PLANNING • DESIGN • BUILD

6464 Highway 7, East
Havelock, Ontario
Canada, K0L 1Z0
705-716-3241

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0 NO CHANGES SHALL BE MADE TO DRAWINGS WITHOUT THE EXPRESSED WRITTEN CONSENT OF THE DESIGNER.

PRELIMINARY
NOT FOR
CONSTRUCTION

MAIN FLOOR PLAN

Dwell

DESIGN

INTERIORS • ARCHITECTURAL

619 WALKERFIELD AVENUE,
PETERBOROUGH ON K9J 4A9
P 505-376-3902
enr@dwelldesign.ca

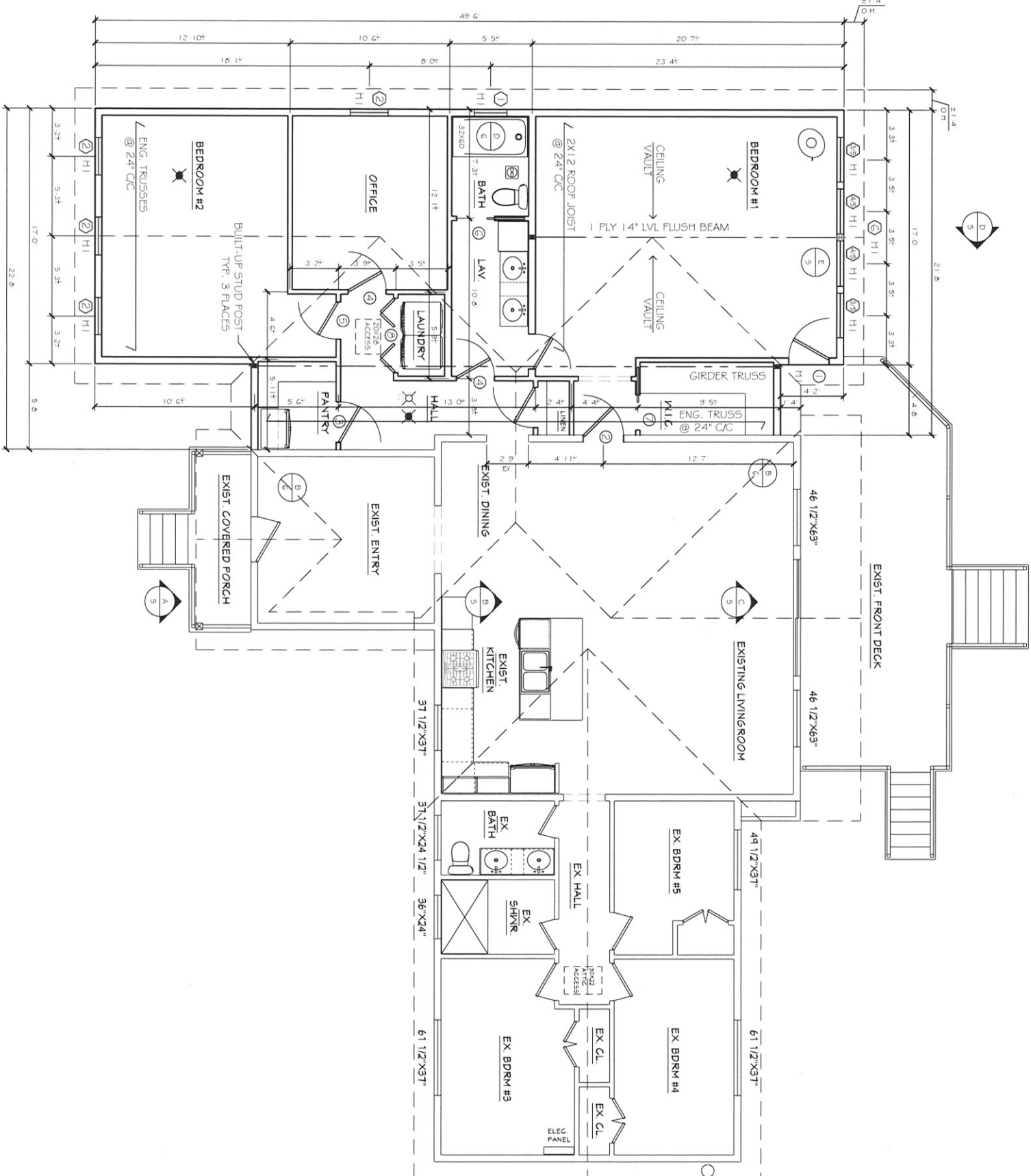
HOLMES

date: 12 SEPT '22

drawn: MV

scale: AS NOTED

sheet: 3 OF 7



GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES:

1. REFERENCE STANDARD ONTARIO BUILDING CODE 2012 (OBC). REFER TO THE OBC FOR DETAILS NOT INCLUDED HERE.
2. UNLESS OTHERWISE SPECIFIED INTERIOR WALLS ARE DIMENSIONED TO CENTRE OF STUD. EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR FACE OF STUD.
3. STRUCTURAL LUMBER TO BE SPRUCE-PINE-FIR NO.2 OR BETTER.
4. WIDTH OF BUILT-UP STUD POSTS SHALL NOT BE LESS THAN THE WIDTH OF THE GIRDER OR BEAM THAT THEY SUPPORT.
5. HANG WINDOWS AT 80" FROM SUB-FLOOR UNLESS OTHERWISE SPECIFIED.
6. CLOSETS TO BE 24" DEEP FINISHED DIMENSION UNLESS OTHERWISE SPECIFIED.
7. LOCATE INTERIOR DOORS 6" FROM INTERSECTING WALLS UNLESS OTHERWISE SPECIFIED.
8. CENTER INTERIOR DOORS ON WALL UNLESS OTHERWISE SPECIFIED.
9. PROVIDE ACOUSTIC BATT INSULATION IN BATHROOM AND BEDROOM WALLS.
10. STAIR RISER HEIGHT MIN. 4-7/8" MAX. 7-7/8"
11. STAIR TREAD RUN MIN. 10" MAX. 14"
12. WHERE SITE CONDITIONS REQUIRE DEVIATION FROM THESE PLANS THE BUILDER SHALL NOTIFY THE DESIGNER SO THAT SUITABLE CHANGES TO THE DESIGN CAN BE MADE.
13. RESOURCE CONSERVATION: THIS DWELLING IS DESIGNED TO MEET THE REQUIREMENTS OF OBC PART 12 TO EXISTING BUILDINGS. COMPLIANCE PACKAGE ZONE 1 OF TABLE 3.1.1.1.1. WAS UTILIZED IN THE DESIGN OF THE BUILDING ENVELOPE. ALL WINDOWS MUST HAVE A MINIMUM U VALUE OF 1.6 W/m²K (0.28 Btu/h²-ft²) & SHUTTERS MAXIMUM U VALUE OF 2.0 W/m²K (0.30 Btu/h²-ft²).
14. SEAL ALL PENETRATIONS THROUGH THE AIR BARRIER WITH CALKING AND TAPE.
15. REFER TO HVAC DESIGN FOR HEATING AND VENTILATION SYSTEM DETAILS.

ROOF NOTES:

1. SITE VERIFY EXISTING ROOF SLOPE AND TRUSSES HEEL HEIGHT PRIOR TO ORDERING TRUSSES.
2. INSTALL AND BRACE NEW ROOF TRUSSES PER TRUSS ENGINEER'S DRAWINGS.
3. PROVIDE DROP GABLE TRUSS.
4. REFER TO TRUSS ENGINEER'S DRAWINGS FOR TRUSS HANGER SPECIFICATIONS.
5. STICK FRAME OVER EXISTING ROOF WITH 2X ROOF RAFTERS @ 24" OC
6. GROUND SNOW LOAD 3.1 kPa (BANCROFT)
7. RAIN LOAD 0.4 kPa
8. SPECIFIED SNOW LOAD 2.1 kPa

SYMBOL	LEGEND	DESCRIPTION
☼	SMOKE ALARM WITH STROBE INTER CONNECT ALL SMOKE ALARMS. MUST MEET REQUIREMENTS OF OBC 9.10.19	
☼	CO ALARM WITH STROBE INTER CONNECT ALL CO ALARMS. MUST MEET REQUIREMENTS OF OBC 9.33.4 & CANCSA 6.19.	
☼	EXTERIOR LIGHTING REQUIRED AT ENTRY DOOR PER OBC 9.34.2.1.(1)	
☼	EXHAUST RECD REFER TO HVAC DESIGN	

SYMBOL	SIZE	WINDOW SCHEDULE	QTY.
①	26X26	CASEMENT - LH	1
②	30X42	CASEMENT - LH	4
③	36X56	PICTURE REFER TO DWG. E/5	2
④	36X56	CASEMENT 1 LHT / RHT REFER TO DWG. E/5	2
⑤	36X16	PICTURE TRANSOM REFER TO DWG. E/5	4
⑥	24X24	PICTURE	1

SYMBOL	SIZE	DOOR SCHEDULE	QTY.
①	32X80	EXT. FULL LITE DOOR - LH	1
②	32X80	INTERIOR SLAB DOOR - LH	1
③	32X80	INTERIOR SLAB DOOR - RH	1
④	30X80	INTERIOR SLAB DOOR - LH	2
⑤	30X80	INTERIOR SLAB DOOR - RH	1
⑥	30X60	INTERIOR SLAB DOOR - POCKET	1
⑦	28X80	INTERIOR SLAB DOOR - POCKET	1
⑧	72X80	BI-FOLD LH / RH	1

SYMBOL	SIZE	HEADER SCHEDULE
H1	2-2X6	
H2	2-2X8	
H3	2-2X10	
H4	2-2X12	

DRAWN BY:



6464 Highway 7, East
Havlock, Ontario
Canada, K0L 1Z0
705-776-3291

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**PRELIMINARY
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CONSTRUCTION**

ELEVATIONS

Dwell DESIGN
INTERIORS • ARCHITECTURAL
619 WAVERFIELD AVENUE,
PETERBOROUGH ON K9J 4V9
P 705-376-3302
enr@dwelldesign.ca

HOLMES

date: 12 SEPT '22

drawn: MV

scale: AS NOTED

sheet: 4 OF 7

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BUILDING SECTION

SCALE: 1/4" = 1'-0"

A
 5

BUILDING SECTION
 SCALE: 1/4" = 1'-0"

B
5

BUILDING SECTION

SCALE: 1/4" = 1'-0"

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NO	REMARKS	DATE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

BUILDING SECTIONS
FEATURE WALL DETAIL

Dwell
INTERIORS • ARCHITECTURE

HOLMES

date: 12 SEPT '22

drawn: MV

AS NOTED

sheet: 5 OF 7

--	--

A
 5

BUILDING SECTION
 SCALE: 1/4" = 1'-0"

B
5

BUILDING SECTION

SCALE: 1/4" = 1'-0"

BUILDING SECTION

SCALE: 1/4" = 1'-0"

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NO	REMARK	DATE

**PRELIMINARY
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CONSTRUCTION**

BUILDING SECTIONS
FEATURE WALL DETAIL

Dwell
INTERIORS • ARCHITECTURE

HOLMES

date: 12 SEPT '22

drawn: MV

AS NOTED

sheet: 5 OF 7

--	--

A
5 BUILDING SECTION
SCALE: 1/4" = 1'-0"

E
 5

FEATURE WALL DETAIL
 SCALE: $3/8" = 1'-0"$

date: 12 SEPT '22

drawn: MV

AS NOTED

sheet: 5 OF 7

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105-718-3291

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NO. REVISION DATE

EXISTING PLANS & ELEVATIONS

PRELIMINARY NOT FOR CONSTRUCTION

Dwell DESIGN
INTERIORS • ARCHITECTURAL
619 WALKERFIELD AVENUE,
PETERBOROUGH ON K9J 4V9
P: 505-576-3502
enr@dwelldesign.ca

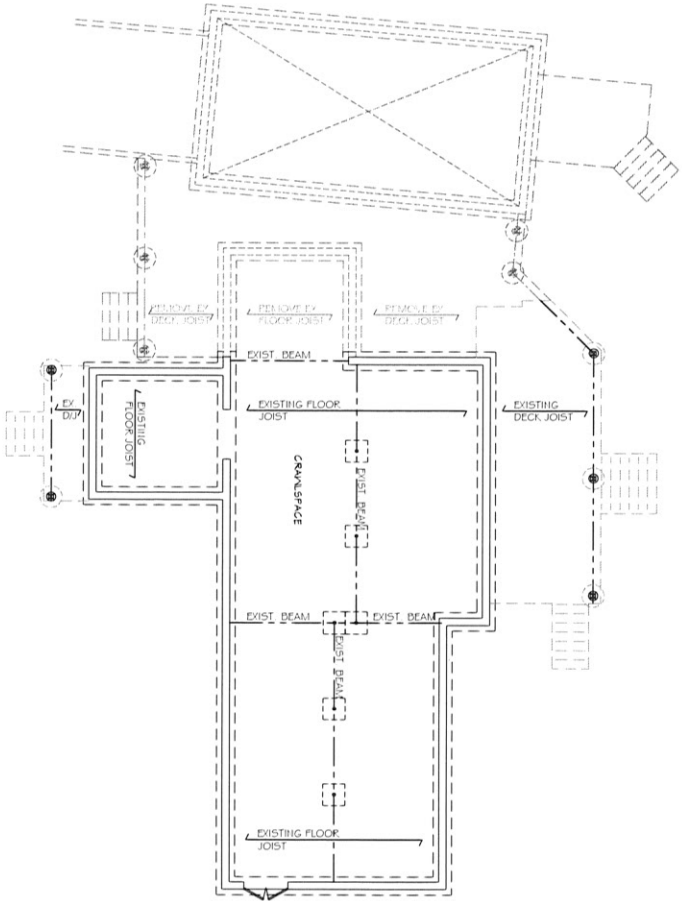
HOLMES

date: 12 SEPT '22

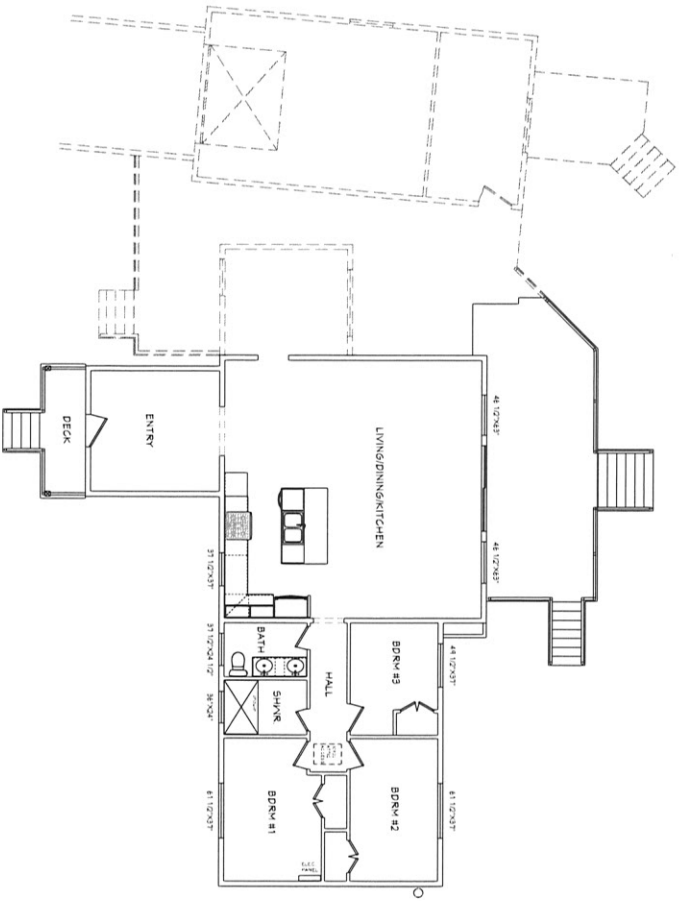
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scale: AS NOTED

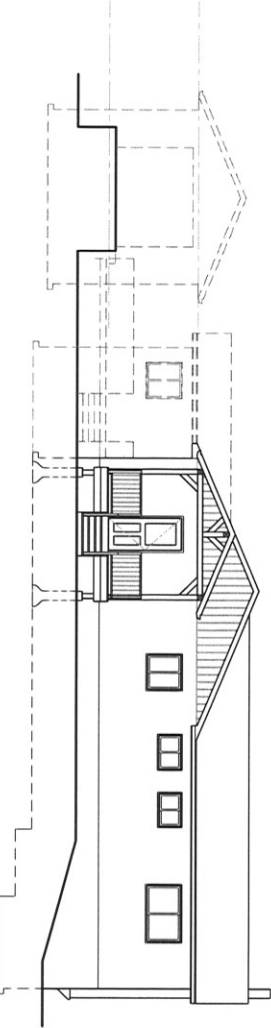
sheet: 7 OF 7



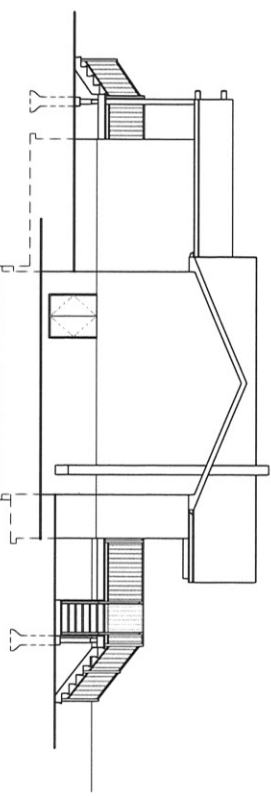
A EXISTING FOUNDATION PLAN
SCALE: 1/8" = 1'-0"



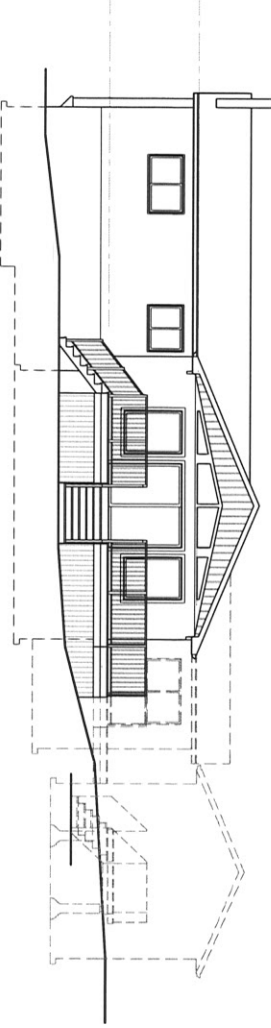
B EXISTING MAIN FLOOR PLAN
SCALE: 1/8" = 1'-0"



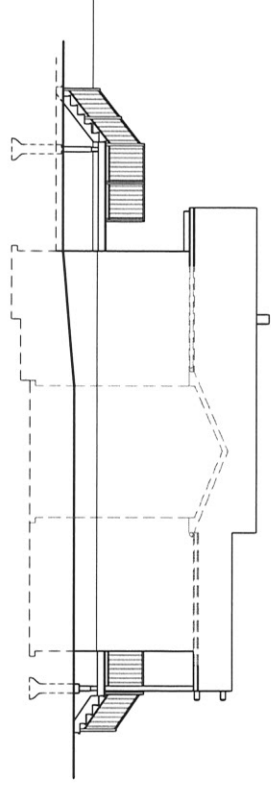
1. SOUTH ELEVATION



2. EAST ELEVATION



3. NORTH ELEVATION



4. WEST ELEVATION

NOTE: SCREEN NOT SHOWN FOR CLARITY

C EXISTING ELEVATIONS
SCALE: 1/8" = 1'-0"

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NO.	REVISION	DATE

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**PRELIMINARY
NOT FOR
CONSTRUCTION**

DETACHED GARAGE
PLANS & SECTION

Dwell
DESIGN
INTERIORS ARCHITECTURAL

619 WAVERFEED AVENUE,
PETERBOROUGH, ONTARIO
K9C 1S2
info@dwelldesign.ca

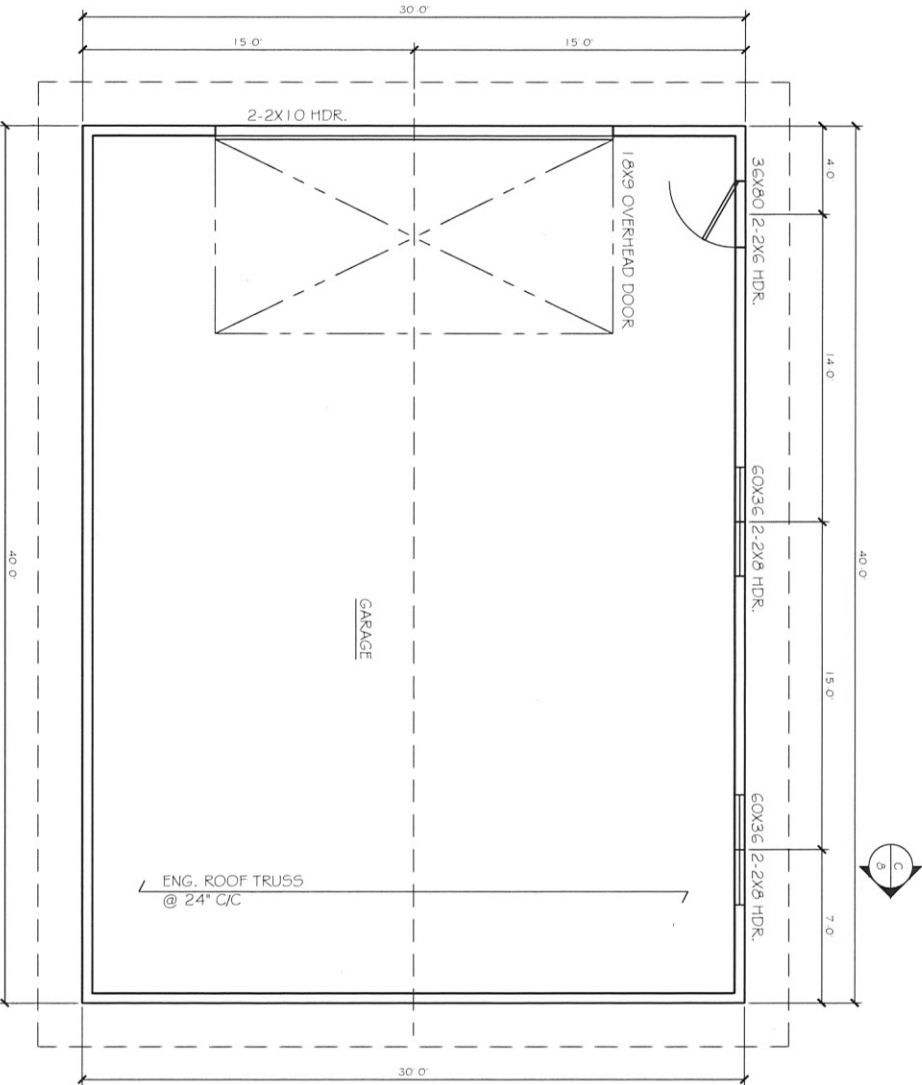
HOLMES

date: 12 SEPT '22

drawn: MV

scale: AS NOTED

sheet: 2 OF 7



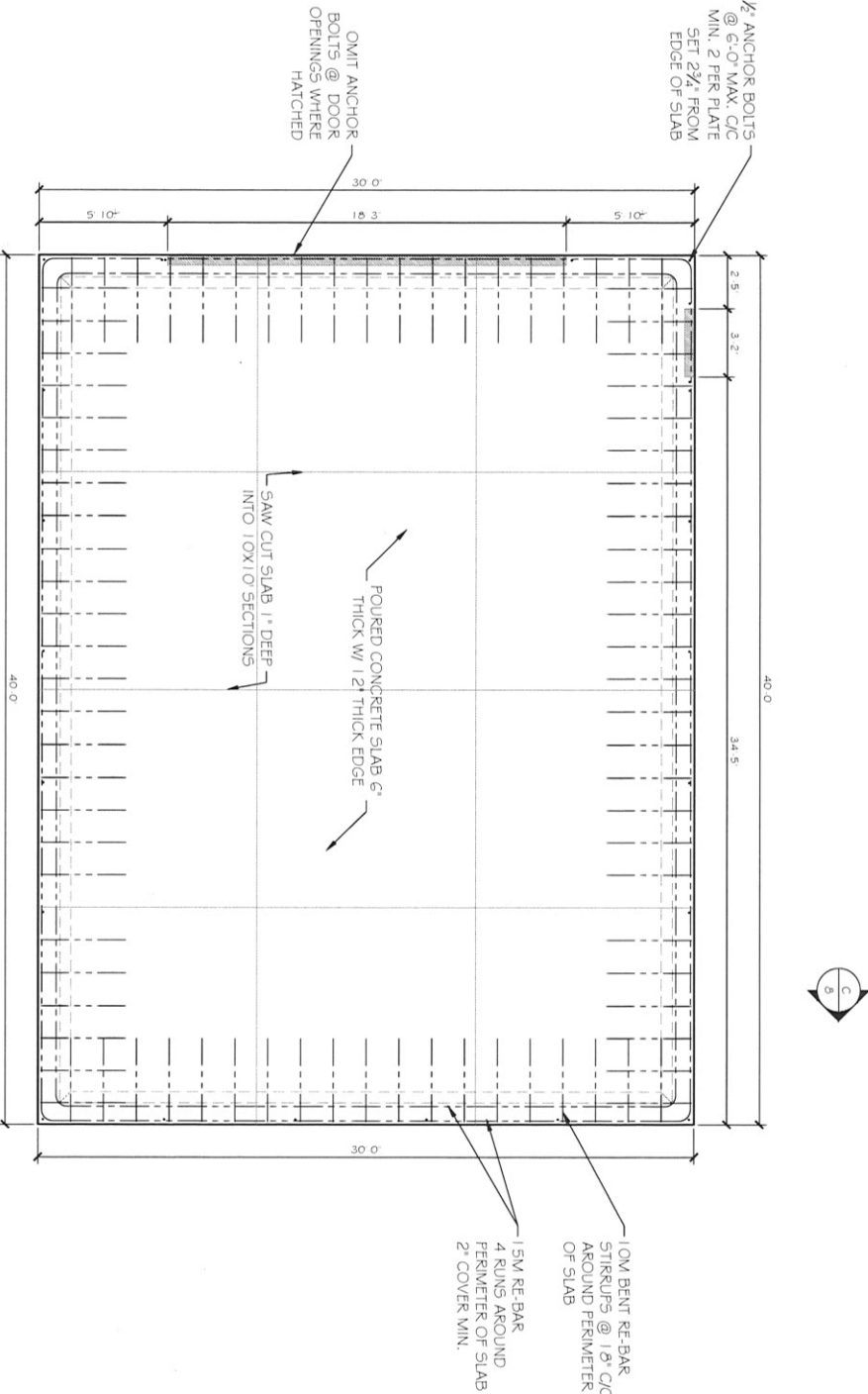
B GROUND FLOOR PLAN
SCALE: 1/4" = 1'-0"

CONSTRUCTION NOTES: (UNHEATED BLDG.)

1. REFERENCE STANDARD ONTARIO BUILDING CODE 2012 (OBC). REFER TO THE OBC FOR DETAILS NOT INCLUDED HERE.
2. VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
3. WHERE SITE CONDITIONS REQUIRE DEVIATION FROM THESE PLANS THE BUILDER SHALL NOTIFY THE DESIGNER SO THAT SUITABLE CHANGES TO THE DESIGN CAN BE MADE.
4. UNLESS OTHERWISE SPECIFIED EXTERIOR WALLS ARE DIMENSIONED TO THE EXTERIOR OF THE STUDS.
5. STRUCTURAL LUMBER TO BE SPUCE-PINE-FIR NO. 2 OR BETTER.
6. USE GALVANIZED HARDWARE WHEN IN CONTACT WITH PRESURE-TREATED LUMBER.
7. FOLLOW MANUFACTURER'S SPECIFICATIONS FOR FASTENERS IN METAL CONNECTORS.
8. SEAL ALL PENETRATIONS THROUGH THE AIR BARRIER WITH CAULKING AND TAPE.

ROOF NOTES:

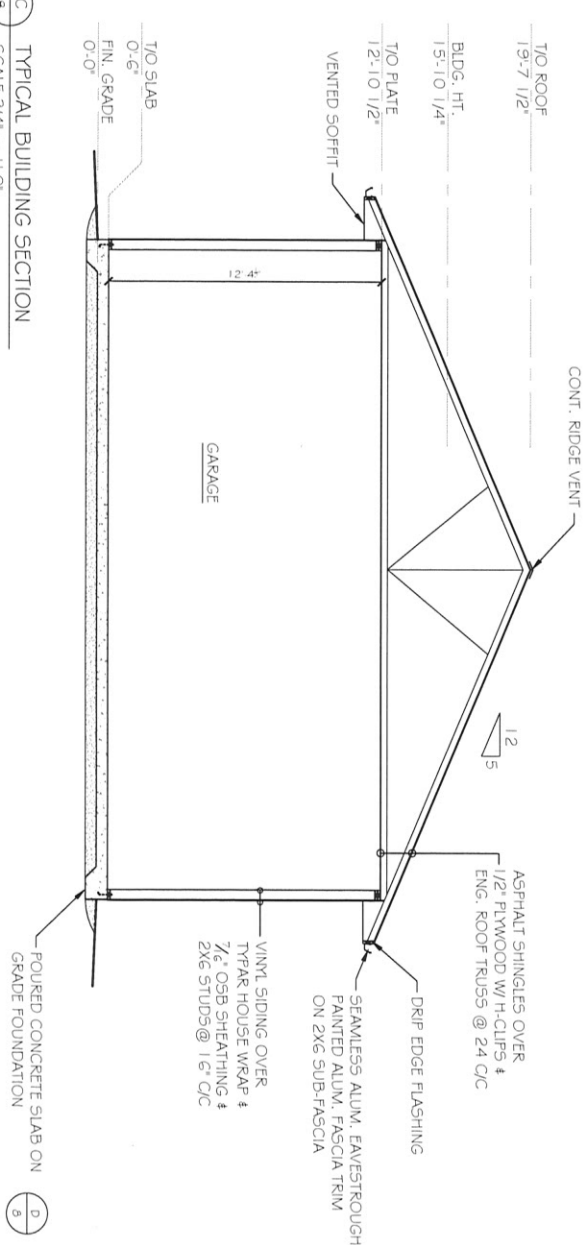
1. INSTALL AND BRACE NEW ROOF TRUSSES PER TRUSS ENGINEER'S DRAWINGS.
2. PROVIDE DROP GABLE TRUSSES.
3. 1.1P_s
4. 0.41P_s
5. 2.11P_s



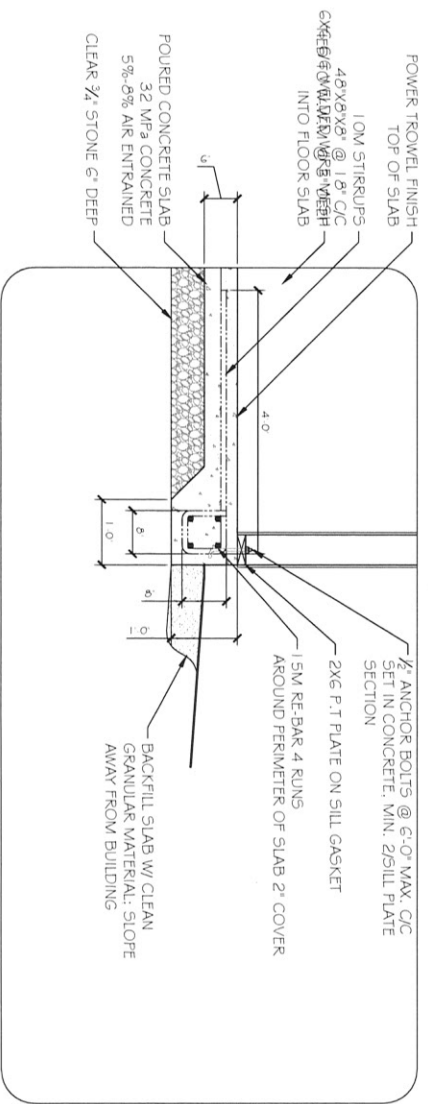
A FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

SLAB ON GRADE FOUNDATION NOTES:

1. CONCRETE MATERIAL TO BE 32 MPA MIN. AGED COMPRESSIVE STRENGTH. 5%-8% AIR ENTRAINED.
2. FIN TROWEL FINISH SURFACE.
3. FASTEN WOOD FRAMING TO FOUNDATION WALLS WITH 1/2" ANCHOR BOLTS EMBEDDED IN CONCRETE SPACED 6'-0" MAX. C/C. 2 PER SILL PLATE SECTION MINIMUM.
4. STRIP ALL ORGANIC TOPSOIL AND ANY UNSATISFACTORY SUBSOIL OFF THE ENTIRE BUILDING FOOTPRINT PLUS A MINIMUM OF 3'-0" ALL AROUND THE OUTSIDE OF THE FOOTPRINT. REMOVE ALL STUMPS AND ROOTS FROM THE FOOTPRINT. BACKFILL HOLES WITH WELL COMPACTED GRANULAR FILL.
5. UP-FILL SITE AS REQUIRED FOR THE BUILDING. USE GOOD CLEAN GRANULAR FILL (CRUSHER RUN) BREAKER RUN FOR THICKER FILL DEPTHS. CLEAR 1/2" STONE OR GRANULAR (A) FOR FINAL TOPPING OF FILL. UP-FILL IN LAYERS WELL MECHANICALLY COMPACTED.
6. TROWEL ROLL TOP OF FILL WITH VIBRATING PLATE TAMPER OR VIBRATING ROLLER COMPACTOR.
7. ESTABLISH FINAL ELEVATION OF THE BUILDING AND FINAL SITE GRADES SO THAT THE SITE IS SLOPED AWAY FROM THE BUILDING ON ALL SIDES.
8. DO NOT SET ONE CORNER OF THE SLAB ON BEDROCK AND THE REST ON FILL. IF BEDROCK IS ENCOUNTERED ENSURE A MINIMUM OF 6" OF FILL OVER THE ROCK AND COMPACT THE REST OF THE UNDER-FLOOR FILL THOROUGHLY.



C TYPICAL BUILDING SECTION
SCALE 3/4" = 1'-0"



D EDGE OF GARAGE SLAB DETAIL
SCALE 3/4" = 1'-0"

DRAWN BY:

TREVR DAY

KASOCIATES

PLAN - DESIGN - BUILD

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NO. REVISION	DATE

THESE DRAWINGS HAVE BEEN REVIEWED AND MADE ACCORDING TO THE DESIGN AND INTENT UNDER THE PROFESSIONAL SEAL AND LICENSE NUMBER 22281 AND 2244732 AND THE FIRM IS REGISTERED IN THE PROVINCE OF ONTARIO FOR 1079461.

PRELIMINARY
NOT FOR
CONSTRUCTION

DETACHED GARAGE
ELEVATIONS

Dwell

DESIGN

INTERIORS • ARCHITECTURAL

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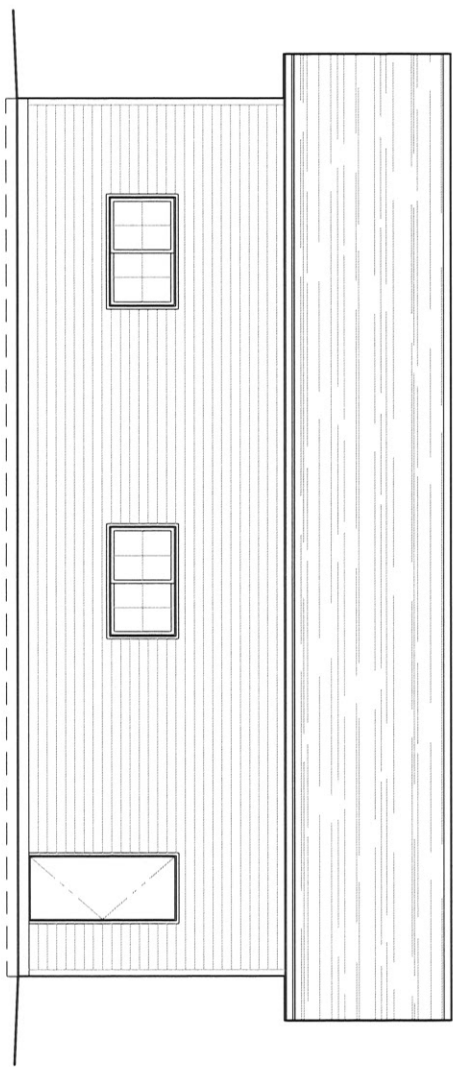
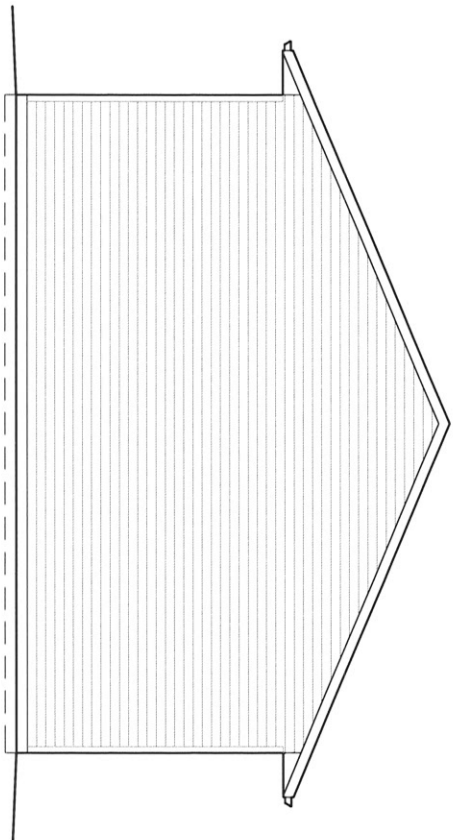
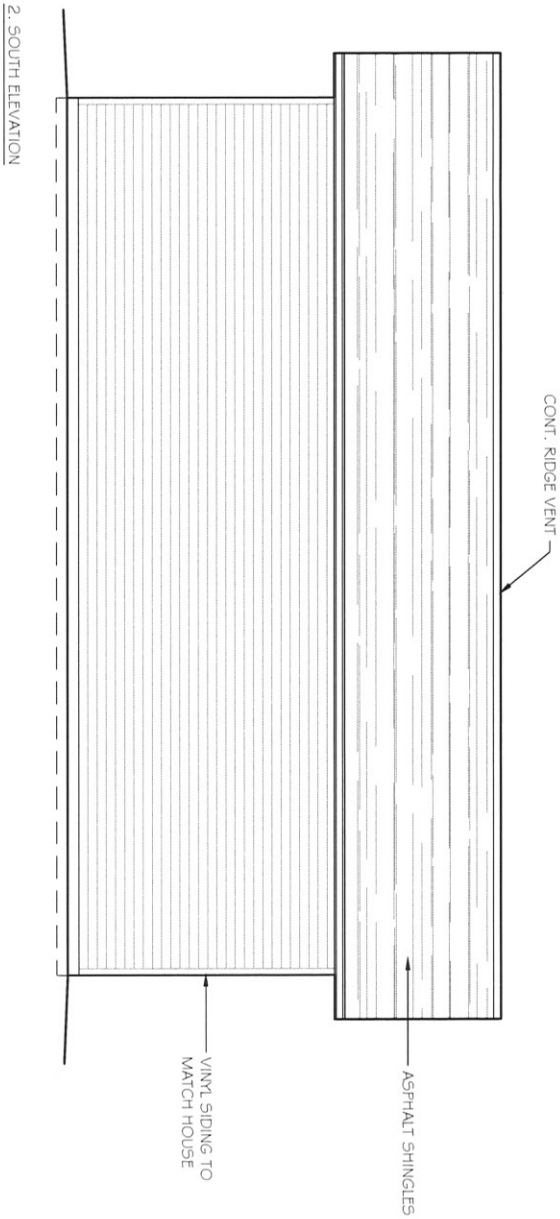
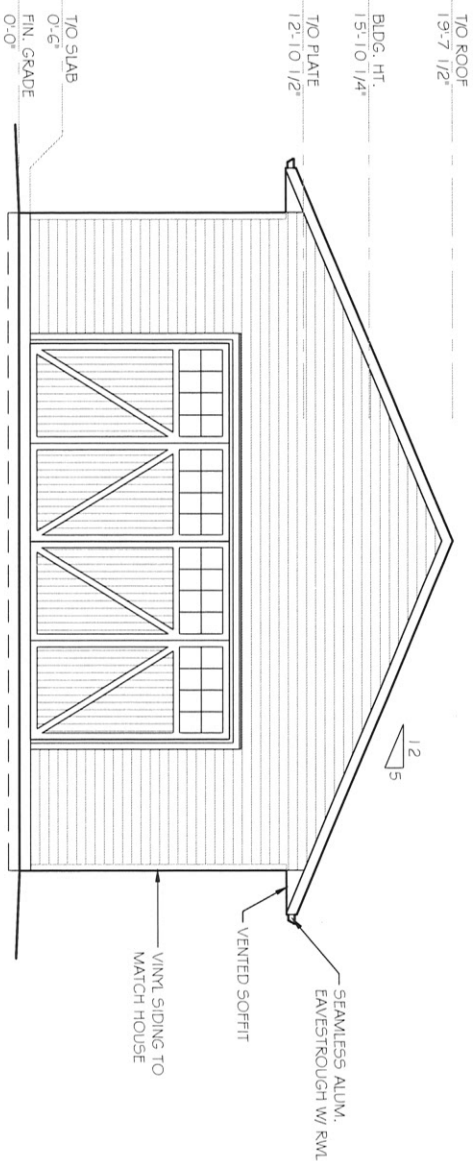
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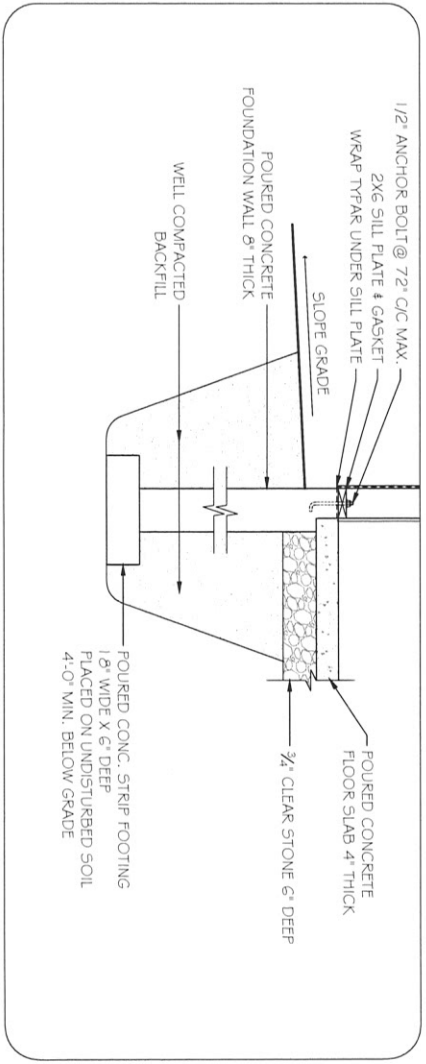
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sheet: 2 OF 7



A ELEVATIONS
9 SCALE: 1/4" = 1'-0"



B ALTERNATE FOUNDATION DETAIL
9 SCALE: 3/4" = 1'-0"